

# Minor Variation Building Consent BC230501.05

Section 45A, Building Act 2004

## The building

Street address of building: 71 Davis Road CUST

Legal description of land where building is located: LOT 1 DP 570321 4.113800 Ha

Valuation number: 2158007013

Building name:

Location of building within site/block number:

Level/unit number: 1

## The owner

Name of owner: Barry C Walsh & Carol S Walsh

Contact person:

Mailing address: 199 Johns Road Rangiora 7400

Street address/registered office:

Phone number:

Landline: 033125363

Mobile: 021522119

Daytime:

After hours: 033125363

Facsimile number:

Email address: Planb10@me.com

Website:

First point of contact for communications with the council/building consent authority: Iconic Architecture Limited

## Building work

The following building work is authorised by this Minor Variation

MINOR VARIATION ADDITION OF VELUX SKYLIGHT TO ATTIC SPACE, ADDITION OF SECONDARY PRIVATE STAIR, CHANGE WOOD BURNER TO MASPORT F/S, UPDATED EFFLUENT DISPOSAL DESIGN AND AMENDED ELEVATIONS

Primary Specified Intended Use: Housing - Detached dwellings

Description of Intended Use: Residential

This minor variation is granted under section 45A of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This minor variation also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Refer to the approved building consent for applicable conditions and advice notes.



Cathy Thornton

Building Unit Administration Officer

On behalf of: Waimakariri District Council

Date: 17 February 2025

### **PLEASE NOTE**

- Although your Consent documentation states 2-3 full working days' notice is required, it may not always be possible to carry out the inspection within the time frame you require.
- If an inspection of the building works is not carried out in accordance with the Inspection Schedule it could affect the issue of the Code Compliance Certificate.

**To book inspections ring WDC on  
03 311 8906**

All inspections are subject to a separate charge.

All re-inspections will be charged and recorded separately even if other inspections are carried out on the same day.

### **Using engineers & other professionals**

If an engineer has been engaged to carry out various site inspections you will need to provide copies of his/her site notices to us and a producer statement, a PS4 from the engineer confirming the building elements designed and inspected by the engineer were completed in accordance with the approved design.

### **Confirmation of installation of products**

We require producer statements, warranties & installation certificates from various installers as a way of confirming products have been installed in accordance with the manufacturer's recommendations. These are commonly required for exterior claddings, wet area tanking, membrane roofing/decking and effluent fields. Energy certificates such as electrical and gas certificates need to be provided too. You will need to provide these to us prior to the issue of the Code Compliance Certificate.

### **Applying for a Code Compliance Certificate (CCC)**

When you are satisfied your project is complete please book a final inspection. The owner or their agent is also required to complete a separate application for the Code Compliance Certificate (Form 6) as soon as possible after the building work is completed. The application form to apply can be downloaded via the link below or call 03 311 8906 for further information.

<https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z#building>

You should have this form ready for when the building Inspector arrives on site to carry out the final inspection, or email it to [ccc@wmk.govt.nz](mailto:ccc@wmk.govt.nz). Please note all outstanding monies must be paid prior to the issue of the CCC.

### **Grant or refuse a CCC**

We are required to make a decision to grant or refuse a CCC if you do not formally apply for a CCC within two years of the granting of the building consent. The date your consent was granted is the date at the bottom of the building consent form. If you do not apply for a CCC or arrange an extension with us within the two year period we may carry out an inspection of the building work. An additional fee applies for this work.

### **Lapsing of your consent**

Your building consent will lapse if building work has not commenced within 12 months after the date of issue of the building consent. The issue date is deemed to be the day you paid for the consent. In saying this we understand things don't always run smoothly so you can apply for a time extension which we may agree to. A fee applies for this.



## BUILDING UNIT

## Application for a Minor Variation to a Building Consent

It is the owner's (or authorised agent's) responsibility to notify Council of any changes to the approved plans under *The Building Act 2004, Section 40*

This application is to advise Waimakariri District Council that the following minor variation\* is proposed to be undertaken on the building situated at the site address listed below. (As per *The Building Act 2004, Section 45A*)

\*For guidance on minor variations, please refer to the fact sheet on our website [waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets](http://waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets)

This variation will be processed in office and approved by a Building Control Officer.

## Consent details

BC number: \_\_\_\_\_ Site address: **71 DAVIS RD. CUBT**  
 Owner/Agent name: **BARRY WALSH**  
 Owner/Agent email: **barry@dimensionshopfitters.co.nz**  
 Owner/Agent contact number: **021 522 119**  
 Applicant's role in project: **OWNER**  
 Applicant name: (if not Owner/Agent) \_\_\_\_\_  
 Applicant email: (if not Owner/Agent) \_\_\_\_\_  
 Applicant contact number: (if not Owner/Agent) \_\_\_\_\_

WAIMAKARIRI DISTRICT COUNCIL  
AMENDED Plan and/or Specifications APPROVED  
BC230501.05 17/02/2025 johnb  
Addition of Velux Skylight to attic space, Addition of  
Secondary private stair, Change Wood Burner to  
Masport F/S, Updated Effluent Disposal Design &  
Amended elevations.

Description of Minor Variation and reason for change: (Attach only relevant plans and supporting documents)

- ① VELUX SKYLIGHT AND STAIRS ADDED TO ATTIC SPACE
- ② MASPORT HURUNUI LOG FIRE (FREE STANDING)

Minor Variation requested during inspection ☒ Yes ☐ No

If yes, note type of inspection and date carried out: **FINAL**

Signature of: ☒ Owner ☐ Applicant on behalf of owner

Signature:  Date: **17/12/24**

Print name: **BARRY WALSH**

Invoice to be billed and sent to: ☒ Owner ☐ Applicant ☐ Other: \_\_\_\_\_

## General information

Processing and administration fees apply. Our latest fees and charges are available on the WDC webpage [waimakariri.govt.nz/services/fees-and-charges](http://waimakariri.govt.nz/services/fees-and-charges)

**NOTE:** Any charges incurred are required to be paid by the 20th day of the month following the month in which the invoice is issued and prior to issue of the Code Compliance Certificate.

**From:** [Barry Walsh](#)  
**To:** [Building Services](#)  
**Subject:** RE: TRIM: RE: Re:71 Davis Rd, Cust  
**Date:** Tuesday, 17 December 2024 3:41:24 PM  
**Attachments:** [image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[0.png](#)

**Caution:** [THIS EMAIL IS FROM AN EXTERNAL SOURCE] DO NOT CLICK links or attachments unless you recognise the sender email address and know the content is safe.

Hi Shirley,

Cost of both items combined - \$1870.00.

Regards,

Barry Walsh  
021 522 119

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**From:** Building Services <[buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz)>  
**Sent:** Tuesday, 17 December 2024 3:31 pm  
**To:** Barry Walsh <[barry@dimensionshopfitters.co.nz](mailto:barry@dimensionshopfitters.co.nz)>  
**Subject:** RE: TRIM: RE: Re:71 Davis Rd, Cust

Hi Barry

What will the estimated value of skylight and stairs that have been added.

Regards

**Shirley Cresswell | Senior Administration Officer**  
Building Unit

**Phone:** 0800 965 468 (0800 WMK GOV)  
**DDI:** +64 3 266 9326



[waimakariri.govt.nz](http://waimakariri.govt.nz)



*Ngā mihi o te wā me te Tau Hou*

Wishing you a happy holiday season, and a safe and enjoyable summer.

We look forward to working with you in 2025.

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**From:** Barry Walsh <[barry@dimensionshopfitters.co.nz](mailto:barry@dimensionshopfitters.co.nz)>  
**Sent:** Tuesday, 17 December 2024 1:00 PM  
**To:** Building Services <[buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz)>  
**Subject:** TRIM: RE: Re:71 Davis Rd, Cust

**Caution:** [THIS EMAIL IS FROM AN EXTERNAL SOURCE] DO NOT CLICK links or attachments unless you recognise the sender email address and know the content is safe.

Hi Amanda,

Thank you for the time over the phone, much appreciated.

1. Skylight / staircase to attic space.
2. Free standing fire name change due to Masport stopped making original fire noted in consent.

Please find attached free standing log burner spec as well.

Let me know if you require any further info.

Regards,

Barry Walsh  
021 522 119

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**From:** Building Services <[buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz)>  
**Sent:** Tuesday, 17 December 2024 12:39 pm  
**To:** Barry Walsh <[barry@dimensionshopfitters.co.nz](mailto:barry@dimensionshopfitters.co.nz)>  
**Subject:** RE: Re:71 Davis Rd, Cust



Hi Barry

Please complete the form attached, and submit with all the documentation and photos for the Skylight, Attic Stairs and Log burner Specifications.

Kind regards

**Amanda McIntyre | Building Unit Administration Officer**

Building Unit

Phone: 0800 965 468 (0800 WMK GOV)

DDI: +64 3 266 9197



[waimakariri.govt.nz](http://waimakariri.govt.nz)



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We look forward to working with you in 2025.

**From:** Barry Walsh <[barry@dimensionshopfitters.co.nz](mailto:barry@dimensionshopfitters.co.nz)>

**Sent:** Tuesday, December 17, 2024 11:18 AM

**To:** Building Services <[buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz)>

**Subject:** FW: Re:71 Davis Rd, Cust

**Caution:** [THIS EMAIL IS FROM AN EXTERNAL SOURCE] DO NOT CLICK links or attachments unless you recognise the sender email address and know the content is safe.

Hi there,

Could you please confirm this was processed, Andrew sent 2<sup>nd</sup> of September 24.

Regards,

Barry Walsh

021 522 119

**From:** Andrew Toulson <[andrew@iconicarchitecture.co.nz](mailto:andrew@iconicarchitecture.co.nz)>

**Sent:** Monday, 2 September 2024 9:38 am

**To:** Building Services <[buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz)>

**Cc:** Barry Walsh <[barry@dimensionshopfitters.co.nz](mailto:barry@dimensionshopfitters.co.nz)>

**Subject:** FW: Re:71 Davis Rd, Cust

Hi Guys

See attached photos and amended plans for a minor amendment. Velux skylights and stairs added to attic space.

regards

Andrew Toulson, LBP Des.  
Director, Principal Designer  
ICONIC ARCHITECTURE LTD  
21 Priors Road  
RD1 Rangiora  
027-628-5278

**Masport**  
HEATING

WAIMAKARIRI DISTRICT COUNCIL  
AMENDED Plan and/or Specifications APPROVED  
BC230501.05 17/02/2025 johnb  
Addition of a Velux Skylight to the attic space,  
Addition of a Secondary private stair, Change  
Wood Burner to Masport Hurunui F/S, Updated  
Effluent Disposal Design & Amended elevations.



# HURUNUI

## ULTRA-LOW EMISSION (ULEB) WOOD FIRE RANGE

Meet the Hurunui wood fire, named after the Canterbury regions 4<sup>th</sup> largest principal rivers. Like Hurunui river which braids attributes of different streams of Canterbury, the Hurunui combines excellent features that are required to heat your home along with the latest technology. Built as a future proof solution to heating your home, the Hurunui can be installed in all regions in New Zealand - clean air zones and rural installations.



[masportheating.co.nz](https://masportheating.co.nz)



The Hurunui has the latest Masport Ultra M3 technology which offers high performance, clean burning and lower maintenance costs. With a 8 mm hard wearing, radiant cook top and 6mm firebox, the Hurunui is suited to medium to large sized homes and available in 3 base options: Pedestal, Ash Pan, and Legs.

- ▶ Ultra-clean burning that is better for air quality
- ▶ Three base options to suit your needs and taste
- ▶ Built-in, easy clean ash pan option
- ▶ 8mm radiant cook top and 6mm steel firebox
- ▶ Extended burn time\*
- ▶ Ceramic Fire Bricks for greater heat retention and durability
- ▶ Stainless Steel Boxed Baffle for superior performance and longevity
- ▶ Lower long-term running costs due to quality components
- ▶ Start-Up Latch mechanism for ease of operation and safety
- ▶ Does not require electricity
- ▶ A future proof solution for all NZ regions - clean air zones and rural installations

\*Extended burn time: Is achievable, when using a mixture of pine and hardwood. Burn period may vary due to factors such as moisture, density of fuel, environmental factors and how the unit is operated.

<b>Finish</b>	Metallic Black VHT
<b>Space Heat Output***</b>	Suitable for Medium to Large homes (3-4 bedrooms)
<b>Dimensions w x d x h</b>	700 x 594 x 760 mm

**BASE  
OPTION**



<b>Fire Only</b>	999915	999923	999924
<b>Flue Only</b>	GDFLU013M	GDFLU013M	GDFLU013M
<b>Fire &amp; Flue Pack</b>	HURUNUIPEDPACK	HURUNUIASHPACK	HURUNUILEGPACK



Ultra M3 technology incorporates a fusion of 3 key features to elevate the performance, clean burning, safety and lower maintenance costs.



Future proof your purchase to protect the New Zealand natural environment.

## Clearance Specifications\*

Minimum distance to heat sensitive materials (mm) when a Masport double skin flue shield is fitted as per Masport specifications.

Model	Space Heat Output	Type of Flue Shield	Type of Floor Protector	A	B	C	D	E	F	G	H	I	J	K	L	M	N	R	W
⊕ Hurunui Ped/Ash/Leg	MED-LRG	MDSM	AFP	110	225	300	100	85	306	575	441	600	900	944	1262	1104	638	624	700

**Flue Shields**

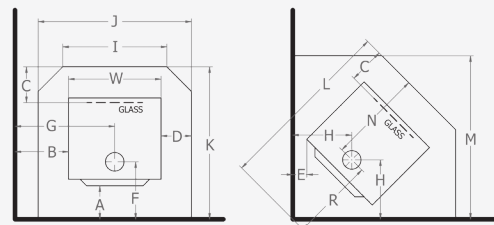
<b>MDSM</b>	Masport Double Skin Flue Shield 900mm long with special heat diverter and ceiling plate
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**Floor Protectors**

<b>AFP</b>	Ash Floor Protector
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**Masport Steel Floor Protectors**

Parallel - 998903  
Corner - 998904



\* Refer to the specifications sheet for full product details and compliance testing.

\*\*Space Heat Output is only a guide based on homes with average insulation, window area, and 2.4m ceiling heights. Differences in these factors, as well as others like, geographical location, layout of the house, living room size, type of windows all play a part in choosing the right model for your heating needs. Consult your dealer or installation contractor for more information.

**Glen Dimplex New Zealand Ltd** PO Box 58473, Botany, Auckland

Glen Dimplex New Zealand Ltd's policy is one of continuous development. We reserve the right to change size and specifications without notice. For the latest product information and warranty details please refer to [www.masportheating.co.nz](http://www.masportheating.co.nz). Please refer to the installation and operation instructions before having your Masport Wood Fire installed. A full set of these instructions is supplied with each fire.

**masportheating.co.nz**



April 2024



(These instructions must be used in conjunction with the Installation Instructions for Masport Hurunui Fire)

**Hurunui burner model has been tested and complies with the following standards & tests:**

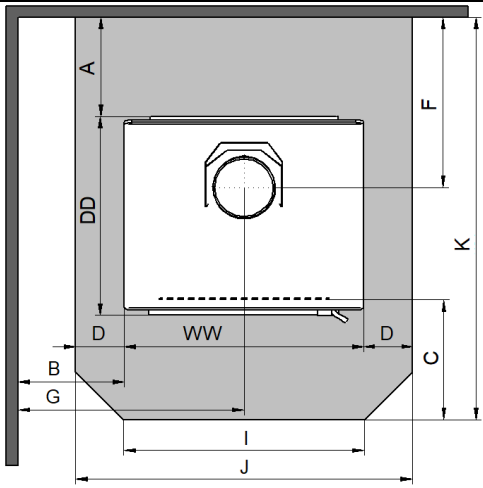
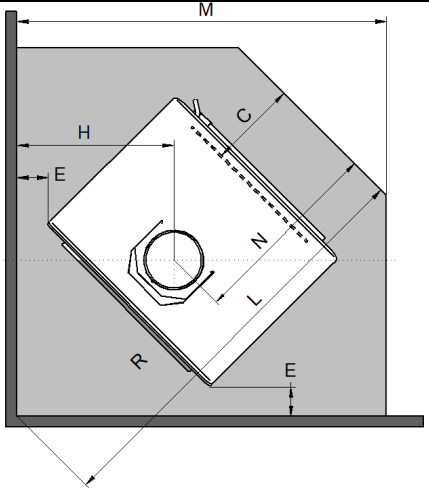
**Environment Canterbury's Real-life test** - Canterbury test method CM1

**NZ National Environmental Test Standards** - AS/NZS 4012:2014 and AS/NZS 4013:2014.

**NZ National Environmental Safety Test Standard** - AS/NZS 2918:2001

<b>Overall Dimensions</b>	700mm Wide x 594mm Deep x 760mm High			
<b>Net Weight of the Burner</b>	130 kg approx.			
<b>Test Method</b>	<b>Emissions mg/MJ</b>	<b>Emissions g/kg</b>	<b>Efficiency %</b>	<b>Authorization No</b>
<b>Real-Life Test Canterbury Method V1.6 (ULEB)</b>	31 mg/MJ	-	-	PED - CRC 222641 ASH - CRC 234266 LEG - CRC 234268
<b>National Environment Standard AS/NZS 4012/13:2014</b>	-	0.55 g/kg	65%	PED - CRC 222643 ASH - CRC 234265 LEG - CRC 234267
<b>Approx. Heating Capacity</b>	<b>Medium to Large Homes (3~4 Bedrooms)</b>			
<b>Flue Shield</b>	900mm Long Masport SS Double Flue Shield (Included in flue kit)			
<b>Flue System</b>	Std 4.2M Long, 150mm Masport Flue System or Flue System that has been tested to and comply with AS/NZS 2918:2001 Appendix F ** For installation in Canterbury & South of Canterbury, we recommend extending 200 outer casings within 250~300 from flue termination. Also, we recommend not to use Masport Opti or equivalent flue kits in this area, as they take ceiling or external cold air and cool the flue casings, leading to accelerated creosote build-up in the main flue pipe.			
<b>Floor Protector Requirement</b>	Ash Floor Protector or equivalent. Masport Steel Floor Protector – 998903-Parallel or 998904-Corner			

**Minimum Clearances to Combustibles: Parallel, Corner & Alcove configurations**

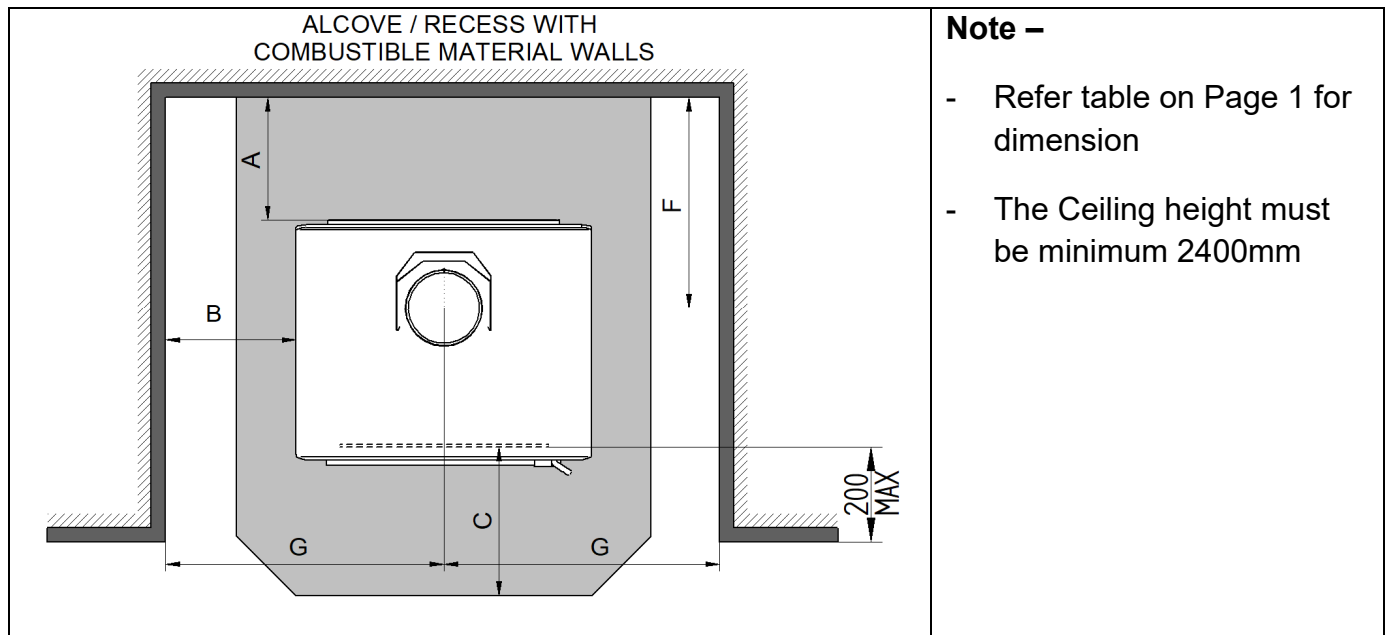
<b>Parallel Installation</b>		<b>Corner Installation</b>	
			
A- Rear Panel to Rear Wall	110 mm	C- Glass to Floor Protector Front	300 mm
B- Cooktop Edge to Side Wall	225 mm	E- Cooktop Corner to Wall	85 mm
C- Glass to Floor Protector Front	300 mm	H- Flue Centre to Wall	441 mm
D- Floor Protector Side	100 mm	<b>L- Floor Protector Diagonal</b>	<b>1262 mm</b>
F- Flue Centre to Rear Wall	306 mm	<b>M- Floor Protector Side</b>	<b>1104 mm</b>
G- Flue Centre to Side Wall	575 mm	N- Flue Centre to Floor Protector Front	638 mm
I- Floor Protector Front Edge	600 mm	R- Flue Centre to Wall Corner	624 mm
<b>J- Floor Protector Width</b>	<b>900 mm</b>	WW- Overall Width of Fire	700 mm
<b>K- Floor Protector Depth</b>	<b>944 mm</b>	DD- Overall Depth of Fire	594 mm
		HH- Overall Height of Fire	760 mm

**Seismic Restraint** - In New Zealand it is required that the wood burner and floor protector are secured to prevent shifting in the event of an earthquake. This is best done by fastening the wood burner right through the protector to the floor, using 8mm DynaBolts or 8mm coach screws or equivalent toggle fasteners for wooden floors of appropriate length.

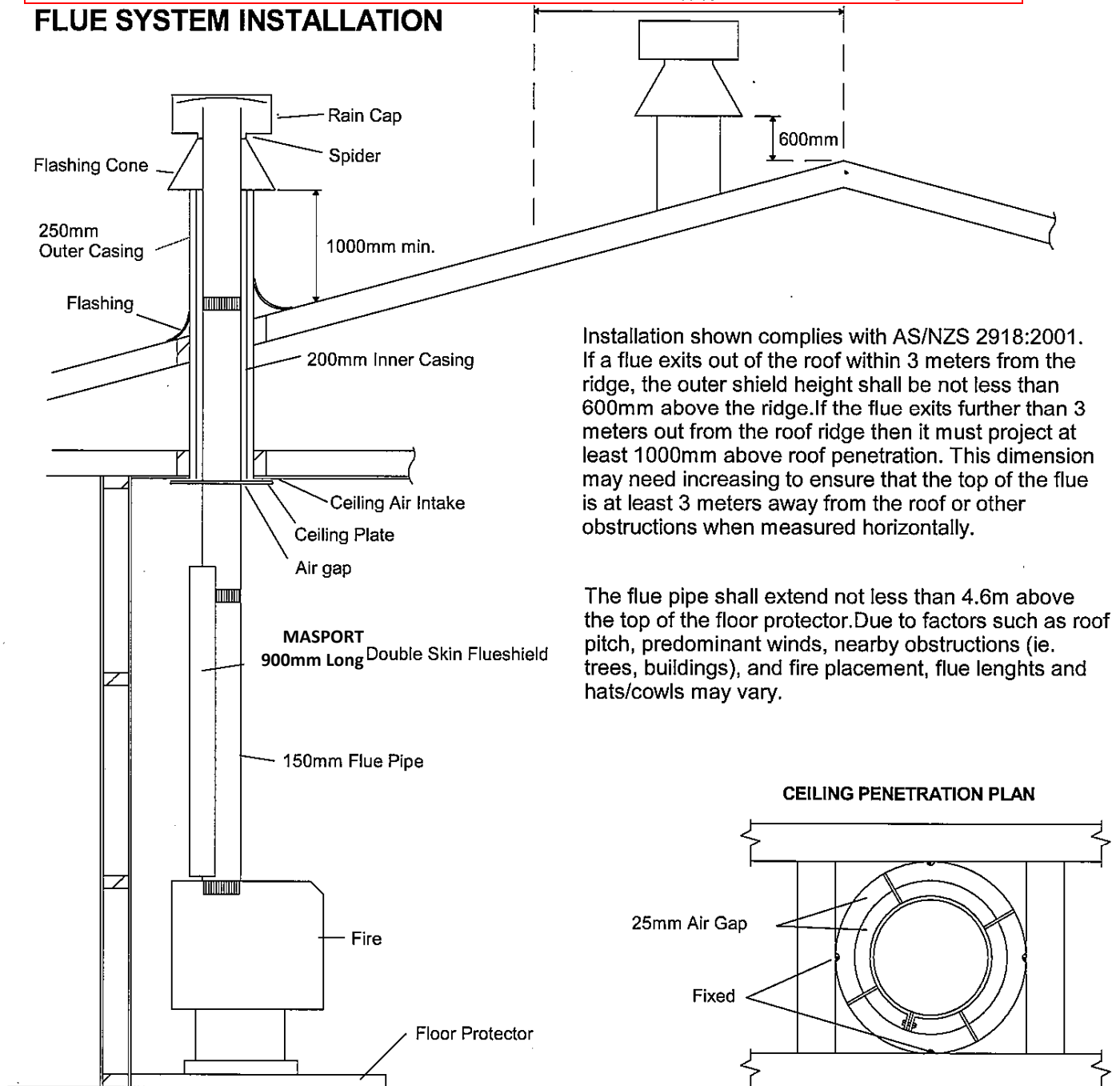
WAIMAKARIRI DISTRICT COUNCIL  
AMENDED Plan and/or Specifications APPROVED  
BC230501.05 17/02/2025 johnb  
Addition of a Velux Skylight to the attic space,  
Addition of a Secondary private stair, Change  
Wood Burner to Masport Hurunui F/S, Updated  
Effluent Disposal Design & Amended elevations.

## Hurunui Installation in Alcove/Recess situation

Hurunui burner models has been tested for alcove (recess) made of combustible material and complies as per safety standard AS/NZS 2918:2001

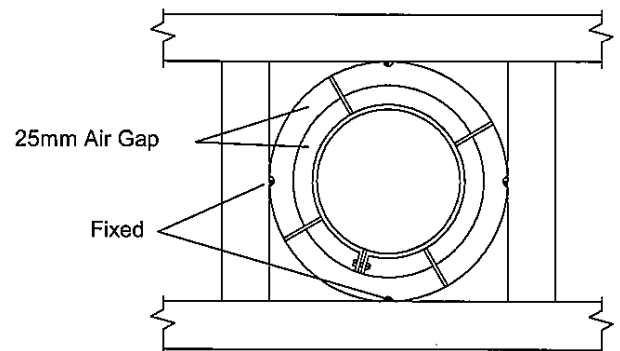


## FLUE SYSTEM INSTALLATION



FLUE SYSTEM INSTALLATION 150mm

### CEILING PENETRATION PLAN



Above plan is valid only for flue manufactured by Glen Dimplex New Zealand Ltd

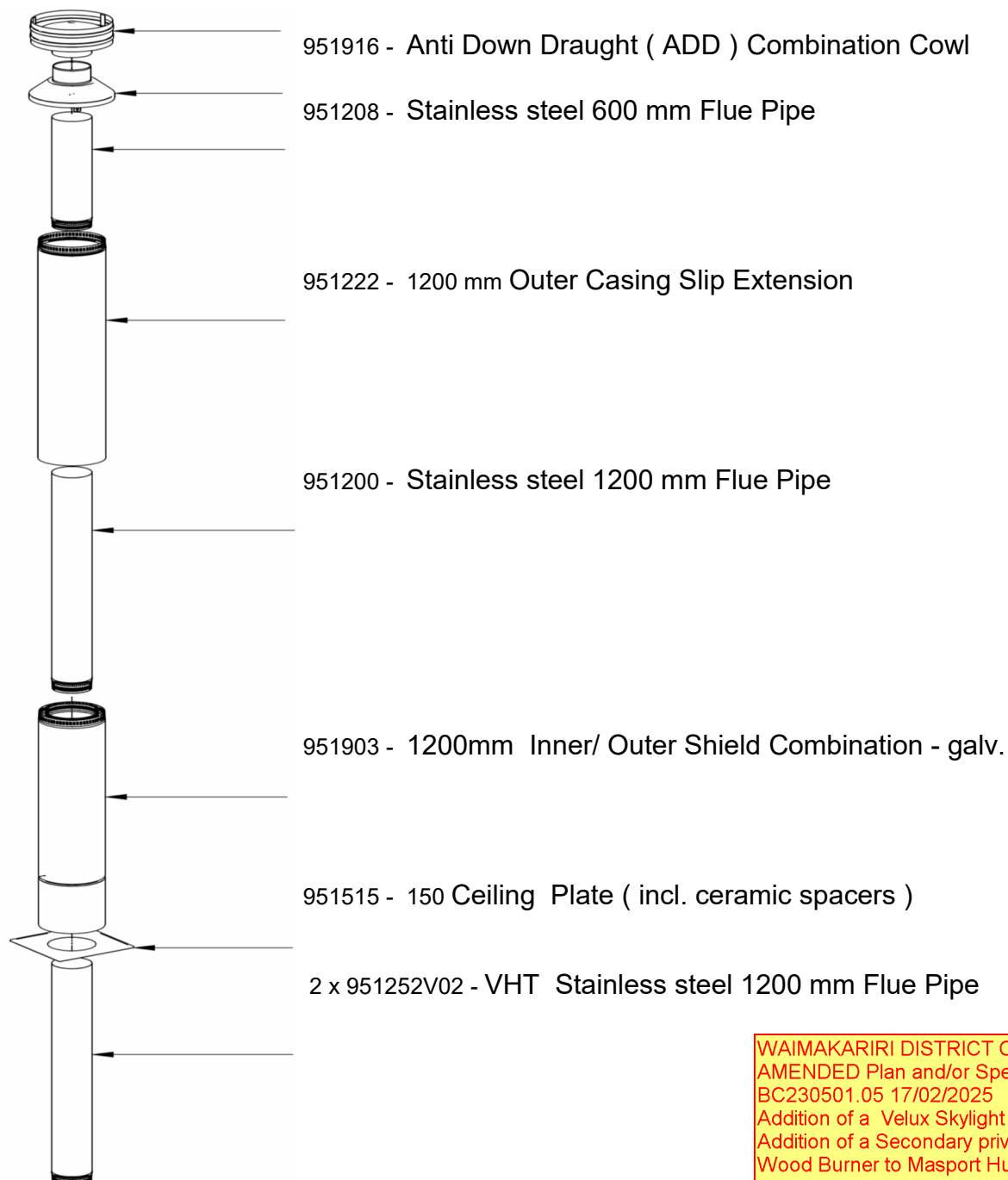
For other products, use specific flue installation specifications supplied by the manufacturer.





**150 mm**  
**Free Standing Wood Fire flue kit ( 1200 Slip Case ) with combination Cowl**  
Complies with AS/NZS 2918:2001

**Installation Instructions**



WAIMAKARIRI DISTRICT COUNCIL  
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## 150mm Freestanding Wood Fire Flue Kit Installation Instructions

This flue kit has been manufactured in accordance with AS/NZS 2918:2001 and tested to Appendix 'F'. To ensure safety, this flue kit must be installed as outlined in these instructions. Heater and flue clearances from combustible walls must be in accordance with Masport's specifications and **AS/NZS 2918:2001 minimum height 4.6m above floor protector.**

CAUTION: IT IS THE RESPONSIBILITY OF THE INSTALLER TO ENSURE THAT THE INSTALLATION OF THIS FLUE KIT COMPLIES WITH AS/NZS 2918:2001, THE APPLIANCE MANUFACTURERS SPECIFICATION FOR THE FLUE PIPE SHIELD AND CEILING PLATE AND THAT THE RELEVANT BUILDING CODES ARE ADHERED TO

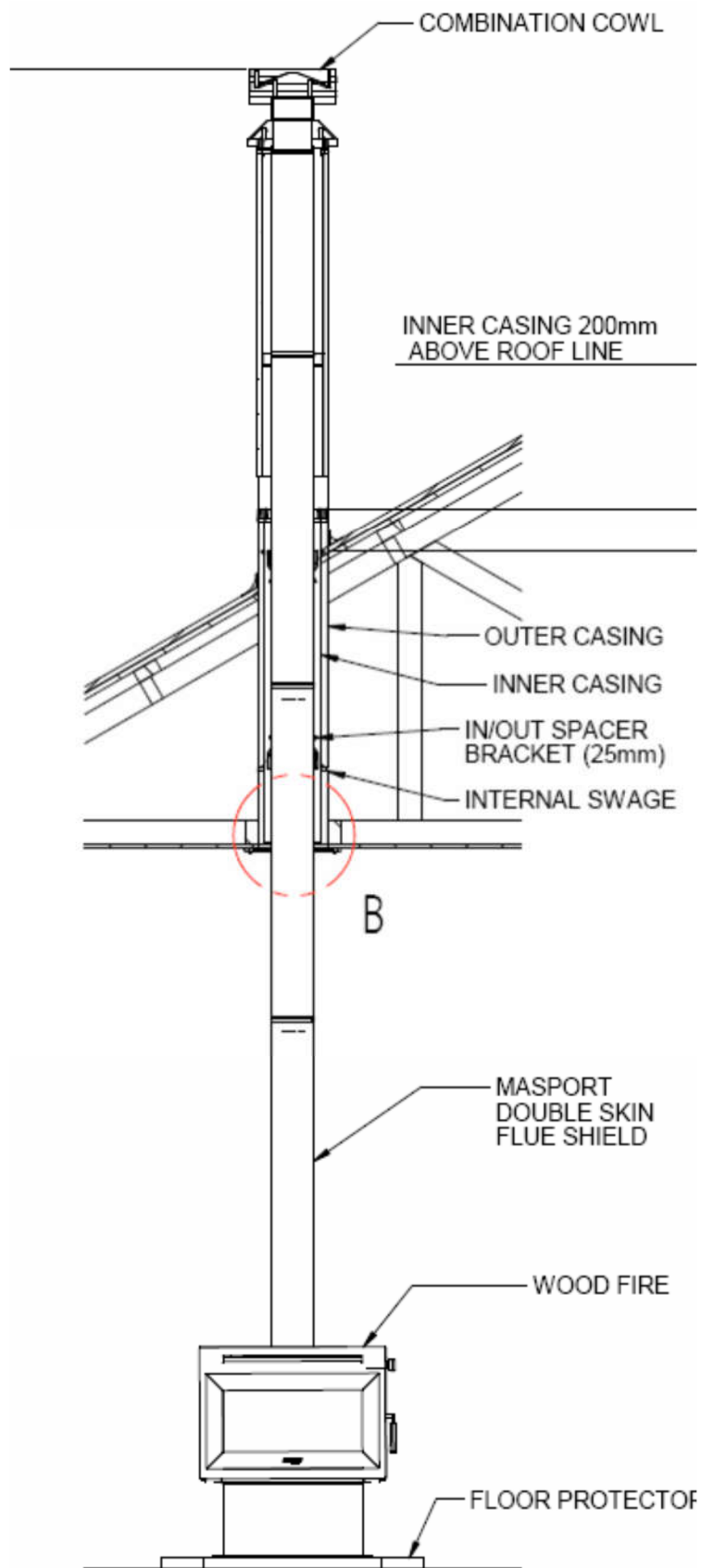
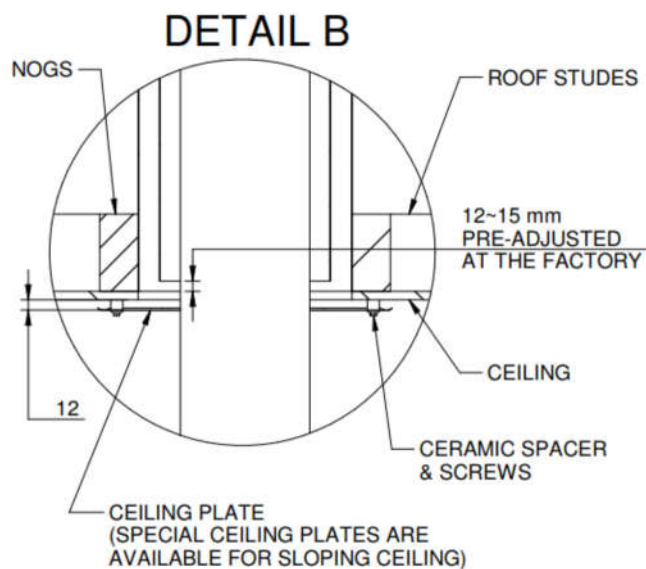
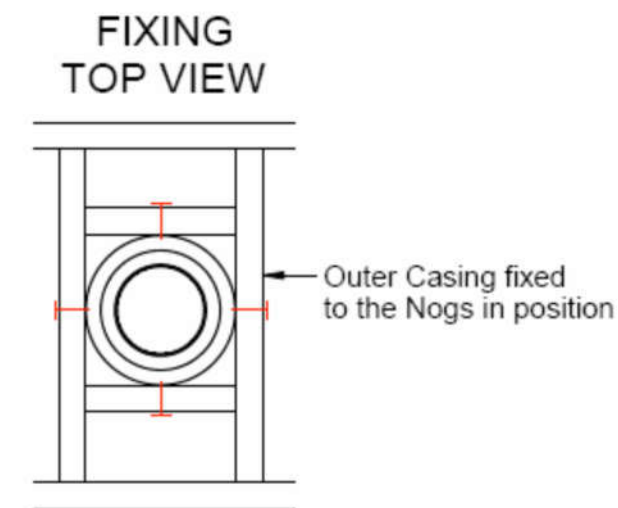
CAUTION: MIXING FLUE SYSTEM COMPONENTS FROM DIFFERENT SOURCES OR MODIFYING THE DIMENSIONAL SPECIFICATION OF THE COMPONENTS MAY RESULT IN HAZARDOUS CONDITIONS. WHERE SUCH ACTION IS CONSIDERED, THE MANUFACTURER SHOULD BE CONSULTED IN THE FIRST INSTANCE.

- 1) Locate heater in its proposed position and mark a point on the ceiling that is directly above the center of the heater's flue outlet. Check that the heater's location allows the OUTER HEAT SHIELD CASING to clear all structural roof timbers.
- 2) Cut a 250mm square hole in the ceiling. Directly above cut a hole in roof to accommodate OUTER HEAT SHIELD CASING
- 3) Fit timber nogs around ceiling and roof holes, i.e. Nogs form a 250mm square aperture which allows air to circulate freely over the OUTER HEAT SHIELD CASING surface.
- 4) Position the OUTER HEAT SHIELD CASING so that it is flush with the underneath of the ceiling and protrudes through the roof the required height. When calculating roof penetration height allow for extra 500mm that can be achieved by using the OUTER HEAT SHIELD SLIP EXTENSION  
**Refer to AS/NZS 2918:2001 page 37 (diagram C)**
  - A) The minimum height of the flue system within 3m distance from the highest point of the roof shall be 600mm above that point
  - B) The minimum height of a flue system further than 3m from the highest point of the roof shall be 1000mm above roof penetration.
  - C) No part of any building lies in or above a circular area described by a horizontal radius of 3m about the flue system exit

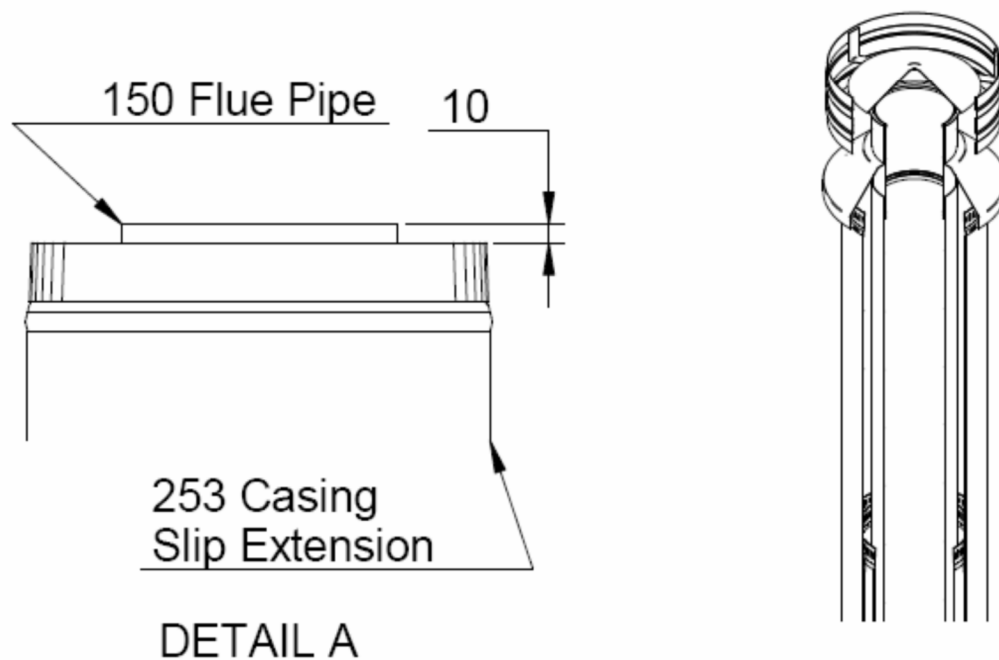
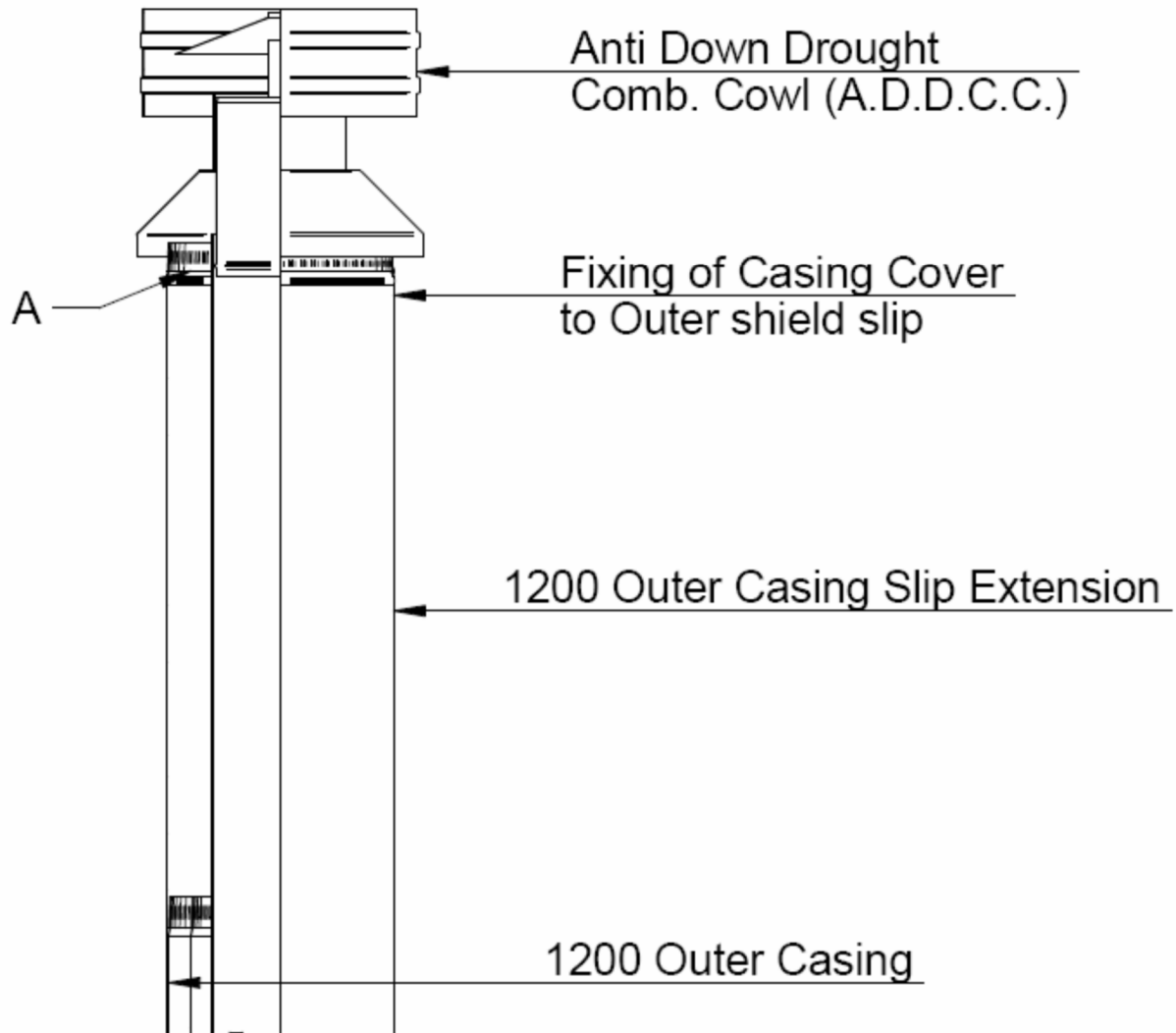
Additional OUTER HEAT SHIELD CASING and INNER SHIELD (BAFFLE) may have to be added to ensure the correct roof penetration heights are obtained. Outer Liner and Inner Baffle must be installed crimp up. **The inner shield must penetrate through roof material a minimum of 200mm.**

- 5) Fix an appropriate flashing around the OUTER HEAT SHIELD CASING to seal onto the roofing material
- 6) From the roof slide the INNER SHIELD into the OUTER HEAT SHIELD CASING until it rests 12mm above ceiling level
- 7) Assemble FLUE PIPES together ensuring seams are off-set for a neat fit. Secure each joint with 3 stainless steel rivets. FLUE PIPES must be assembled with crimped ends down (towards heater), short crimped pipes must be used into the flue spigot. **Flue must be sealed into Firebox using Maniseal**
- 8) Drill holes in the CEILING PLATE for the fixing screws. Place CEILING PLATE over heater flue spigot, ensuring the folded edge is facing the ceiling.
- 9) Install Flue pipes ensuring there is no damage to the VHT paint.
- 10) Before securing the OUTER HEAT SHIELD SLIP EXTENSION to the OUTER HEAT SHIELD with 3 rivets or self tapping screws, ensure the FLUE PIPE extends above the top of the OUTER HEAT SHIELD SLIP EXTENSION by 10.0 mm. Adjust SLIP EXTENSION to obtain this measurement. If minimum roof penetration heights described earlier cannot be achieved add sufficient stainless steel FLUE PIPE and OUTER CASINGS.
- 11) Fit CASING COVER over the FLUE PIPE and push down firmly onto TOP FLUE SPACER BRACKET. Secure with a rivet or self-tapping screw.
- 12) Fit COWL making sure of a tight fit, but do not secure, as removal for flue cleaning will be necessary
- 13) Fasten CEILING PLATE to ceiling using screws and spacers provided. Ensure an even air gap around FLUE PIPE when fixing. Remove protective plastic from CEILING PLATE
- 14) Leave all installation and operation instructions with the owner.

**Schematic Diagram**







**Note :** Masport Free Standing Flue kit was tested in accordance with AS/NZS 2918:2001 , with 250mm outer casing in contact with combustible materials.

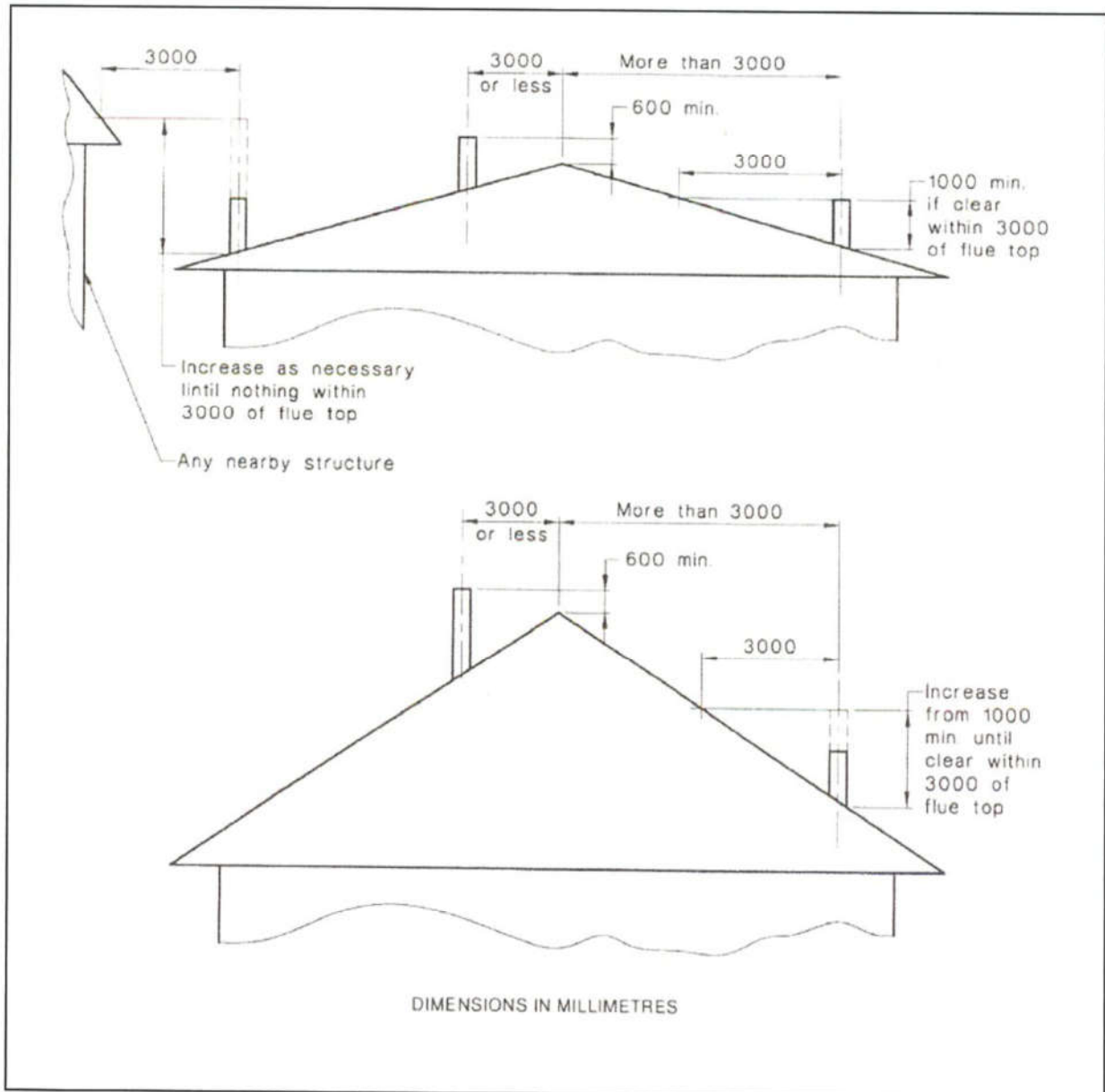
## **Stainless Steel Flue Pipe**

### **Conditions of use**

- The wood fire must be operated in accordance with the manufactures instructions, local clean air guidelines and regulations.
- The flue must be installed in accordance with GDA installation instructions, using flue components supplied by GDA. It is the responsibility of the installer to ensure no water leaks into the flue system
- The flue should not be used on a wood fire burning chemically treated, salt laden or unseasoned wood. Only use newspaper when lighting, never burn printed brochures or junk mail.
- The Flue must be swept by mechanical means only. We recommend mixed head or polypropylene brushes be used, Under No circumstances should chemical flue cleaners, soot destroyers or steel chimney brushes be used.
- The stainless flue pipe is warranted against mechanical defects for 5 years, providing the above conditions are met.
- Installation and performance are not covered under the warranty
- The paint finish appearance may change, depending on appliance operation and is designed to be a maintainable finish. To maintain the paint finish or touch up use genuine STOVEBRIGHT aerosol

**Failure to observe these conditions may negate warranties**

**Diagram C AS/NZS 2918:2001 pg 37**







Please attached the label “ IMPORTANT “ here  
and give the Installation Instructions  
to the Owners !!!

A large, empty rectangular box with a black border, intended for attaching a label and providing installation instructions. An arrow points from the text above to the top-left corner of this box.

Date of Installation : \_\_\_\_\_

Wood Fire Make : \_\_\_\_\_

Wood Fire Model : \_\_\_\_\_

Serial No.: \_\_\_\_\_

Installed By : \_\_\_\_\_

\_\_\_\_\_

Owners: \_\_\_\_\_

\_\_\_\_\_

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BC230501.05 17/02/2025 johnb  
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Addition of a Secondary private stair, Change  
Wood Burner to Masport Hurunui F/S, Updated  
Effluent Disposal Design & Amended elevations.







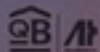
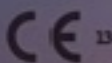




**VELUX**

**GGU MK08**

**0076F**  
**03BP01KM**



[www.velux.com/ce](http://www.velux.com/ce)

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+A2:2016

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# GGU Centre-pivot Roof Window

## Main features

Rotates 180° for cleaning outer pane from within the room

Grey aluminium exterior cappings

Blinds available

White polyurethane finish

Available in 7 sizes

Weather-tight passive ventilation

Laminated double glazing as standard



Recommended for within-reach situations only

## Construction

VELUX GGU is an opening, centre-pivoting roof window used for in-reach applications to bring natural light and air into attic or loft rooms where ventilation is required. Easy to clean, high quality polyurethane molded over a timber core and finished in white. Aluminium external cappings finished in a smooth grey colour, similar to 'COLORSTEEL® Grey Friars'.



## Operation

The GGU is operated manually. The control bar at the top of the window is clicked to allow passive ventilation, whilst the window remains locked and watertight. A second click of the control bar opens the sash. The sash is frictioned to stay in a horizontal pivot position to maximise ventilation.

The sash can be locked in two positions, either slightly ajar or 180°, the fully rotated position, allows the outside pane to be cleaned safely from inside the room.

## GGU technical performance

CodeMark® is a voluntary scheme owned by the Ministry of Business, Innovation & Employment that provides an easily understood and robust way to show a building product, design or method meets the requirements of the New Zealand Building Code. CodeMark is unchallengeable and has legal status equivalent to that of an Acceptable Solution or Verification Method.



BRANZ Appraised  
Appraisal No.969 [2017]

WORLD-CLASS  
QUALITY

## New Zealand Standards

VELUX Roof Windows are tested and appraised to the appropriate New Zealand Standards.

NZS4223 NZS3604 NZS1170

## Energy rating

GGU Roof Windows have been energy rated in accordance with the Roof Window Energy Rating Scheme (WERS).

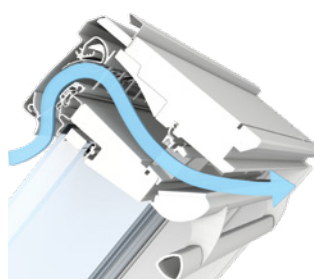
★★★★★ Maximum 5 stars  
Summer Ratings

4.5 out of 5 stars for Winter Rating.  
4.5 out of 5 stars for Cool Daylight in Summer.

## Construction

**Frame and sash:** Moulded Polyurethane (white) encapsulating a timber core.

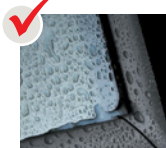
**Exterior capping:** Grey aluminium.



PASSIVE VENT-For controllable passive ventilation when you want it.



LOAD TESTED  
(NZBC Clause B1)



DURABILITY  
(NZBC Clause E2)



WEATHERTIGHTNESS  
(NZBC Clause E2)



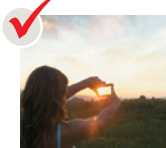
SAFETY GLAZING  
(NZBC Clause F2)



ENERGY EFFICIENCY  
(NZBC Clause H1)



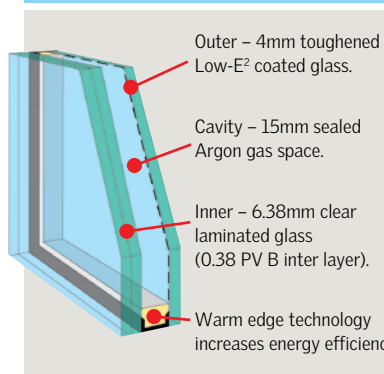
VENTILATION  
(NZBC Clause G4)



NATURAL LIGHT  
(NZBC Clause G7)

NB: CodeMark certification and BRANZ appraisal scope does not cover installations over 60°.

## Laminated Double Glazing as standard



Outer – 4mm toughened Low-E<sup>+</sup> coated glass.

Cavity – 15mm sealed Argon gas space.

Inner – 6.38mm clear laminated glass (0.38 PV B inter layer).

Warm edge technology increases energy efficiency

## Benefits:

- Radiant heat block: Complete window approx 70%  
Glass only approx 70%
- Harmful UV rays block approx 95%
- WERS rating 5 stars

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## Technical Values

### R-value<sup>†</sup>

Complete Roof Window 0.77

### Solar Heat Gain Co-efficient<sup>†</sup>

Complete Roof Window 0.30

### Visible Light Transmittance

Complete Roof Window 0.64

### Thermal Efficacy (Ke = VT/SHGC)

Complete Roof Window 2.07

### Acoustic performance

Complete skylight 34dB#

on STC value tested to AS1276.1.

\* For roofs below 15° pitch, roof windows need to be raised.  
Refer to website or contact VELUX for technical advice.

# GGU Centre-pivot Roof Window

## Manual Blackout Blind (DKL)



- Provides near total light reduction.
- Colour: White rails and internal fabric, silver coating on external fabric face.
- Materials: Light-tight polyester with heat resistant coating. White powder-coated aluminium side channels and top cover.
- Reduce heat by approx 40%^.
- Increased thermal efficiency.
- Unique installation system allows easy installation.

Blinds sold separately.

**NB:** NEW VELUX blinds and flashings do not suit roof windows purchased prior to March 2014.

## Choice of flashing

### EDW flashing



EDW flashing is used for roof windows installed into tiled roofs and profiled metal roofs (such as corrugated iron - not suitable for concealed clip roof profiles or membrane roofs).



### EDL flashing



EDL flashing is used for roof windows installed into slate or shingle roofs – max 5mm thick. 'L' shaped sections are provided that act as soaker pieces on either side of the roof window. These soakers sit under each course of slate or shingle and interlock with the course above.



### EKW combination flashing



Designed for installing multiple roof windows side-by-side or above-below.

Roof windows must be spaced 100mm apart. EKW suitable for same roofs as EDW flashing.



\* For roofs below 15° pitch, roof windows need to be raised to at least 15° and custom flashed. (Not supplied by VELUX). Refer to website or contact VELUX for technical advice and drawings.

## Opening Restrictions

Building regulations may require the use of a restrictor device: contact VELUX for

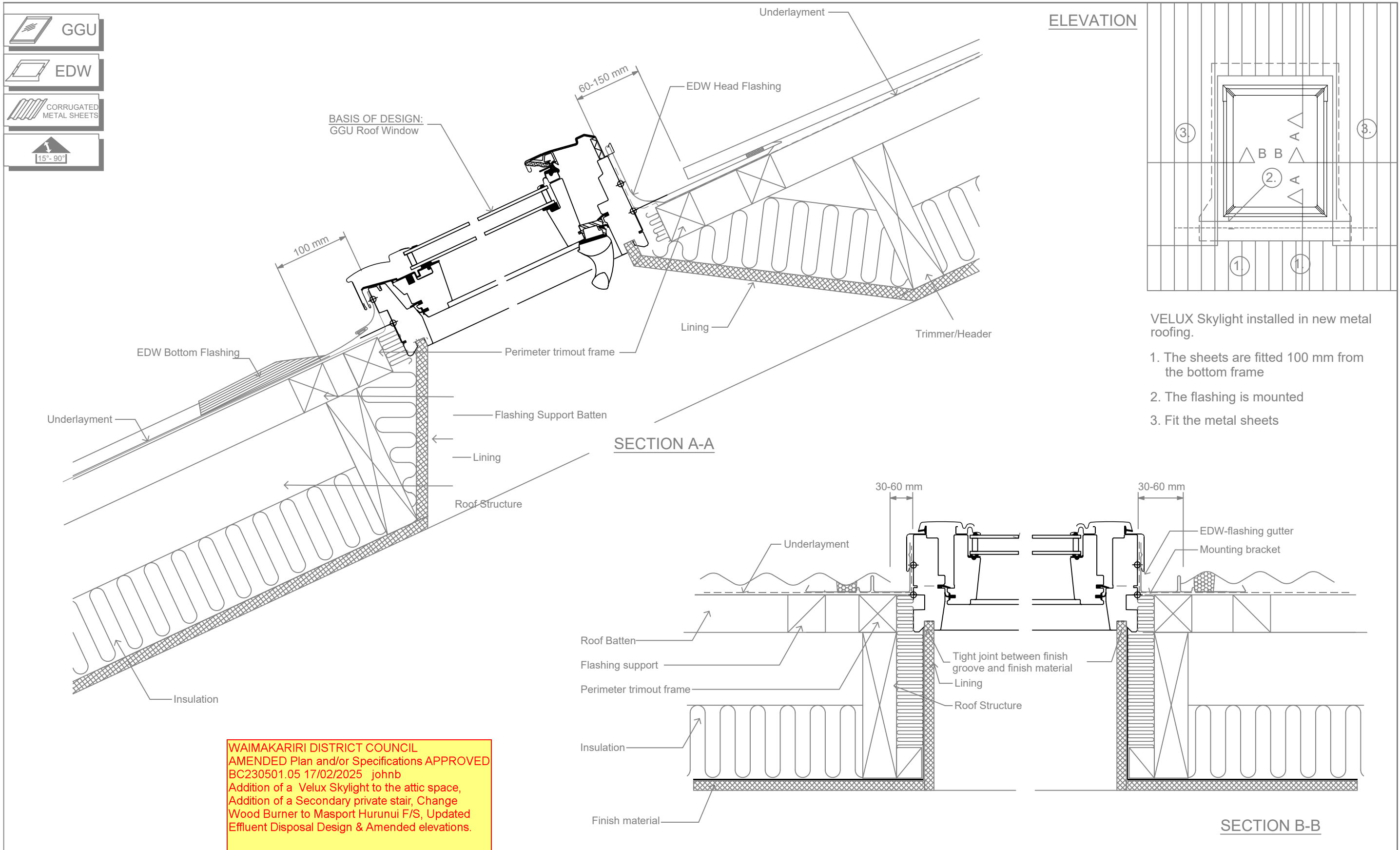
information relating to restrictor devices for within-reach roof windows.

## GGU – frame and glazing dimensions

Product/size code ►	CK02	CK04	MK04	MK06	MK08	SK06	SK08
External frame dimensions mm (wxh)	550x780	550x980	780x980	780x1180	780x1400	1140x1180	1140x1400
Internal glass size mm (wxh)	371x583	371x783	601x783	601x983	601x1203	961x983	961x1203
Daylight area (m <sup>2</sup> )	0.22	0.29	0.47	0.59	0.72	0.95	1.16
Ventilation with open sash (m <sup>2</sup> )	0.29	0.38	0.58	0.72	0.86	1.10	1.32
Weight (kg) including flashing	24.9	29.2	37.8	40.9	47.7	56.7	64.9
Weight (kg) excluding flashing	21.0	25.1	33.2	35.9	42.5	50.9	58.8

^ Based on VELUX internal testing with 3076 model Roof Window.





GGU - Roof Window and EDW Flashing in Corrugated Metal Roof

**VELUX**  
Sky-Product Management

**NEW ZEALAND LTD.**  
0800 650 445

	Name	Date
Drawn by		Jan 18
Checked by		Jan 18
Drawing No.		

# Peter Hansen DRAINAGE LTD.

## EFFLUENT DESIGN – PRODUCER STATEMENT

Date: 03/07/2023 **AMMENDED: 11/02/2025**

Applicant: Barry Walsh

Address: 71 Davis Road, Cust

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Peter Hansen Drainage Limited believe this is a widely accepted system and if maintained to a high standard will perform well. The septic tank is manufactured, and engineer approved to **AS/NZS 1546.1.2008**.

The land application system is based on **AS/NZS 1547:2012**: Onsite Domestic Wastewater Management.

Simone Hoodhills

Design Consultant

**AMMENDED: Zoë Yule**

**Environmental & Design Consultant**

## **Applicant Details**

Applicant	Barry Walsh
Property address	71 Davis Road, Cust
Legal description	Lot 1 DP 570321
Area	4.11 ha

## **Effluent Data**

A **four**-bedroom dwelling with an office is proposed for the subject property. The maximum daily effluent discharge for the home will therefore be **1600** litres.

## **Effects on the Environment:**

This system has been designed to comply with Environment Canterbury's guidelines on effluent disposal and to the best of our knowledge complies fully with their requirements.

This system has been designed with this property's specific boundaries, soil type and depth to groundwater, and therefore should have minimal effect on the environment.

## **Description of the Environment**

### ***Soils***

Canterbury Map's soils database indicates poorly drained, Claremont moderately deep, poorly drained, silt across 60% of the general area. A 1.2 m test pit was excavated on the property in February 2023, the details for which are given in Table 1. Photos of the test pit are provided in Figure 1.

*Table 1: Soil test pit*

Soil	Layer Thickness (mm)
Topsoil	400
Clay	800



*Figure 1: Test pit at 71 Davis Road Cust, February 2023*

Based on the results in Table 1, the soils across the site are Category 5 light clays. No mottling or groundwater was observed in the test pit.

The topography of the discharge site is flat (<10 degrees).

A search of Environment Canterbury's Listed Land Use Register did not identify any sites of enquiry within the applicant's property.

### **Groundwater**

A search of Canterbury Maps database identified six groundwater bores and one proposed within a 1,000 m radius of the proposed discharge, however only two are currently active. There is one well with groundwater level data and one with notes provided under ECan well details with details provided in Table 2. The elevation of the location of the closest well and the site is similar with notes from ECan well search indicating a wet season groundwater height of 6.1m bgl. The on-site test hole did not encounter groundwater at the termination depth of 1.2 m.

Depth to groundwater in the area is within the 2.5 m bgl contour from Canterbury Maps. Groundwater is expected to flow in a NW to SE direction, based on piezometric contours. Data from borelogs within 400 m (2) of the proposed discharge show dry clay or clayey gravels underlying topsoil, extending down to at least 15 m.

Accordingly, the depth to groundwater in the area is expected to be 6.1 m.



Table 2: Well data within 1,000 m of proposed discharge

Well Number	Well depth (m)	Distance (m)	Highest reading bgl (m)	Number of readings taken	Years readings taken
M35/0093	15.5	130	Comments from ECan well search: during wet seasons groundwater increases to 6.1 m bgl. Static water level 15m.		
M35/0108	7.6	803	0.1	20	1977-1986

**Surface water**

No surface water channels are present within or adjacent to the property and the proposed discharge will be a minimum of 20 m from any existing waterway.

**Effluent design****Tank**

A new Oasis S2000 tank (or similar) is proposed. The S2000 provides for secondary treatment of the wastewater through the five chambers, has a total operating capacity of 6720 litres, and a daily treatment capacity of up to 2000 litres.

The tank will be fitted with an audible visual high water level alarm and a Pedrollo Top Multi 2 submersible pump (or equivalent) will be installed. The tank will be manufactured and engineer approved to AS/NZS 1546.1:2008.

**Land Application System**

Effluent will be discharged to land via driplines (refer to the attached Site Plan). It is proposed that 640 m<sup>2</sup> of driplines will be installed, comprising 20 x 32 m runs, laid 1 m apart. This equates to an application depth of 2.5 mm/day at the maximum discharge of 1600 l/day. The 15 mm driplines will be buried with 100 mm of topsoil cover (see Table 2).

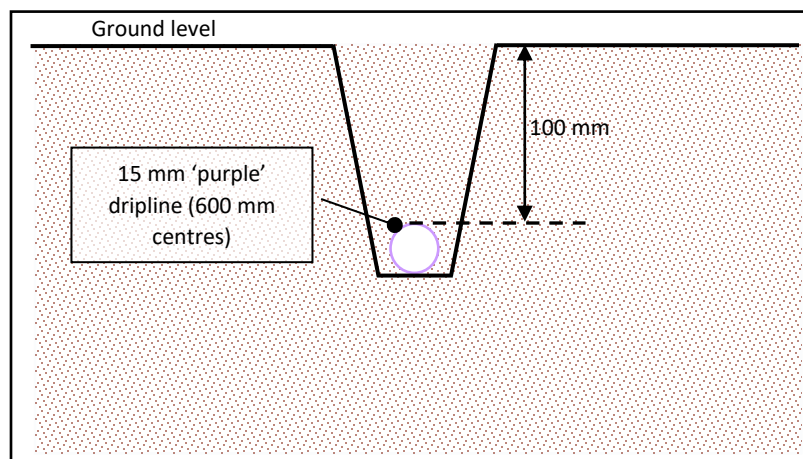
Table 3: Proposed Land Application System Details

Type of irrigation lines	Pressure compensating 15 mm drip lines
Total length of irrigation lines	640 m (20 x 32 m or other configuration totalling 640 m)
Distance between irrigation lines	1 m
Spacing between drip emitters	0.6 m
Area of land application system	640 m <sup>2</sup>
Application rate	2.5 mm/day
Where will the irrigation lines be installed?	100 mm below ground, with 100 mm soil cover
Will the land application area be planted?	Yes
How will stock/vehicle access be restricted?	Fencing or with signage and planting
Minimum separation from high groundwater levels	>1.1 m

A cross section of the proposed dripline system is given in Figure 3.

The proposed system has been designed in accordance with AS/NZS 1547 On site Domestic Wastewater Management.

Figure 2: Cross section of dripline



#### Service Contract:

A service contract must be in place for each system and a copy sent to Environment Canterbury and District Council. The service contractor must check the tank twice per year and carry out the steps listed in the Resource Consent.

**Peter Hansen Drainage Ltd** can provide a service contract – Phone 0275 369 331

The Owners Manual, detailing operation and maintenance requirements of the system, is given in Appendix A.

## **Assessment of Compliance with the Canterbury LWRP Rules**

The following provides an assessment of the proposed discharge of human sewage to land against the relevant Canterbury Land and Water Regional Plan rules.

Rule 5.8 of the LWRP:

*The discharge of wastewater from a new, modified or upgraded on-site domestic wastewater treatment system onto or into land in circumstances where a contaminant may enter water is a permitted activity, provided the following conditions are met:*

Condition	Proposal Complies?
1. The discharge volume does not exceed 2 m <sup>3</sup> per day; and	Complies, daily discharge up to 1600 litres per day.
2. The discharge is onto or into a site that is equal to or greater than 4 hectares in area; and	Complies, property is 4.11 ha and residential density <1.5/ha
2a. The discharge is not located within an area where residential density exceeds 1.5 dwellings per hectare and the total population is greater than 1000 persons; and	
(d) The discharge is not onto or into land:  (a) where there is an available sewerage network; or (b) that is contaminated or potentially contaminated; or (c) that is listed as an archaeological site; or (d) in circumstances where the discharge would enter any surface waterbody; or (e) within 20 m of any surface waterbody or the Coastal Marine Area; or (f) within 50 m of a bore used for water abstraction; or (g) within a Community Drinking-water Protection Zone as set out in Schedule 1; or (h) where there is, at any time, less than 1 m of vertical separation between the discharge point and groundwater; and	Complies, no sewage network available. No HAIL sites are associated with the site, and it is not associated with an archaeological site.  System design will prevent surface ponding and runoff and minimum separation distances to surface water and groundwater wells maintained.  There are no Community Drinking-water Protection Zone within 1000 m of the proposed discharge.  A minimum of 1 m vertical separation will be maintained.
4. The treatment and disposal system is designed and installed in accordance with Sections 5 and 6 of New Zealand Standard AS/NZS 1547:2012 – On-site Domestic Wastewater Management; and	Complies

Condition	Proposal Complies?
5. The treatment and disposal system is operated and maintained in accordance with the system's design specification for maintenance or, if there is no design specification for maintenance, Section 6.3 of New Zealand Standard AS/NZS 1547:2012 – On-site Domestic Wastewater Management; and	Complies
6. The discharge does not result in wastewater being visible on the ground surface; and	Complies, the system has been designed to the ground conditions to prevent ponding on the ground surface.
7. The discharge does not contain any hazardous substance.	Complies, the discharge will be domestic wastewater only.



## Appendix A: Owners Manual



AS THE OWNER OF THIS SEPTIC TANK AND EFFLUENT SYSTEM, YOU ARE RESPONSIBLE FOR ITS OPERATION AND MAINTENANCE. AFTER THE SYSTEM HAS BEEN OPERATING FOR 1-3 WEEKS YOU WILL NEED TO HAVE THE SYSTEM COMMISSIONED AND SET UP A SERVICE CONTRACT,

### LIFE OF SYSTEM

- 1 Effluent Field and Septic Tank area It is imperative that these areas are fenced from stock and other traffic.
- 2 Pump The pump is a mechanical item and with maintenance should last at least 5 years (if required).
- 3 Drains and Septic Tank These should last 50 years.
- 4 Septic Tank/Pump Chambers Concrete septic tanks should last at least 50 years.
- 5 Effluent Field The life of the effluent field is dependent on many variables. Some are listed below:
  - a) The types of other products flushed into the system, (what kills bugs in the house will kill bacterial bugs in the septic tank).
  - b) Volume of effluent discharged per day.
  - c) What type of detergents used.
  - d) Volume of solid particles discharged.
  - e) The maintenance of the system.
  - f) High rainfall.
  - g) Ground Water height.

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The life of your system will depend on how you as an owner treat it.

1. Limit the amount of water that goes through your system.
2. Limit the amount of excess food off plates that goes down your drains.
3. Use biodegradable cleaners, synthetic powders and soaps.
4. Do not use standard soaps.
5. Do not flush down your sinks or toilets: napi-san, nappies, wipes, condoms, tampons, pads, disinfectants, medicine, powerful bleach, fat, oils or petrol etc.
6. Do not install a garbage disposal system.
- 7. If you sell the property, please give the new owners these instruction.**
- 8. Set up a maintenance/service contract – Phone Peter Hansen Drainage Ltd, 0275 369 331**

For further details on how to maintain your system please contact your service company.